

Addendum No. 2
March 15, 2021

Project: Jane Addams Elelmentary School – C.I.P. Addition And Renovations PD #3312
Project location: 2511 W. Brookings Street, Sioux Falls, SD 57104
Project number: 1105.2914.20

Architect: Architecture Incorporated

Letting: Thursday, March 18, 2021
2:00 PM
Central Services Center
1101 North Western Avenue
Sioux Falls, South Dakota

Scope of this Addendum:

To all bidders and all others to whom drawings and specifications have been issued by Architecture Incorporated, this Addendum forms a part of the Contract Documents. Acknowledge receipt of this addendum by listing its number and date in the bidder's Form of Proposal. Failure to do so may subject bidder to disqualification. This addendum modifies the drawings and specifications as follows:

GENERAL ITEMS:

- 1) **Hydronic system is a two pipe system for chilled and heating water. All hydronic piping shall be insulated as chilled water piping.**

SPECIFICATION ITEMS:

2) **SPECIFICATION 230900 AUTOMATIC TEMPERATURE CONTROL/BUILDING AUTOMATION SYSTEM**

- a) Add the following to section 1.22 – SEQUENCE OF OPERATION:
When the chiller is enabled all control valves on vavs, cuhs, heating coils, radiant panels, fintube radiation shall be closed.

3) **SPECIFIATION 321400 UNIT PAVING**

- a) Page 4, Paragraph 2.3.A: curbs and edge restranint: omit steel edging and provide standard brick plastic edging, recessed, that will be covered with mulch.
- b) Page 5, Paragraph 2.5.E: Sand for joints: Omit sand as specified and provide Polymeric joint infill as per manufacturer's instructions.

4) **SPECIFICATION 123583 SPECIALTY CASEWORK**

- a) Omit this specification section.

5) **SPECIFICATION 329300 PLANTS**

- a) Page 7, Paragraph 2.7.A.1: guy stakes: Omit wood stakes, provide steel stakes.

DRAWING ITEMS:

6) DRAWING 2.90 - LANDSCAPING

- a) Revise general Landscaping note A: All landscaping items shall be provided and installed by the contractor.
- b) At outdoor classroom provide mulch around all shrub and ground cover materials at perimeter of concrete pavers.
- c) At the outdoor classroom chain link fence on the south side of the pavers, provide plastic edging 1' south of the chain link fence. Infill with landscaping mulch.
- d) Tree planting detail 1/2.90: Omit steel edging at perimeter of mulch around trees.

7) DRAWING 2.91 - LANDSCAPING

- a) Outdoor Classroom paver plan 1/2.91: Omit reference to plastic edging at perimeter of pavers. Provide standard recessed, brick plastic edging covered with mulch.

8) DRAWING 3.11 - STRUCTURAL PLANS

- a) Revise F4 footings and add new 32" wide x 24" deep grade beam foundation to support the new block wall along the existing corridor wall shown in plan views 1/3.11 and 2/3.11.

9) DRAWING 3.19 - STRUCTURAL DETAILS

- a) Add new 32" wide x 24" deep grade beam integral with the F4 footings to support the new block wall along existing corridor wall in detail 3/3.19

10) DRAWING 4.02 – DEMOLITION FLOOR PLAN – AREAS B & C:

- a) See attached Revised Sheet 4.02 – DEMOLITION FLOOR PLAN AREAS B & C .
- b) Only (1) new window will cut into the existing facility, located on the west elevation. Disregard indication to cut new window into existing south wall of facility.
- c) Remove existing cabinet unit heater wall grate (3) locations, prepare to infill with CMU block at (2) locations and one with salvaged brick (1) location that will remain exposed, furthest east location.

11) DRAWING 4.11 – FLOOR PLAN – AREA A:

- a) Disregard the PRT floor pattern on this drawing in the plan set. Find the changes to the pattern on the attached new drawing **4.20 FLOOR FINISH PLAN – AREA A**. The finish schedule for the corridors was also updated on this drawing.
 - i) 4.20 FLOOR FINISH PLAN – AREA A attached.
- b) Room 107-BAND/ORD – remove (2) walls labeled as A3, gypsum wall board deflector will not be provided or installed.
- c) Room 108 - MUSIC – remove (2) walls labeled as A3, gypsum wall board deflector will not be provided or installed.

12) DRAWING 4.12 – FLOOR PLAN – AREA B & C

- a) Disregard the PRT floor pattern on this drawing in the plan set. Find the changes to the pattern on the attached new drawing **4.21 FLOOR FINISH PLAN – AREA B & C**. The finish schedule for the corridors was also updated on this drawing.

- i) 4.21 FLOOR FINISH PLAN – AREA B & C attached.
 - (1) Walls at RM 106 – STOR, and RM 111 – STORAGE, EPNT-1 See Finish Schedule sheet 4.21 attached.
 - (2) SEE SHEET 4.21 FLOOR FINISH PLAN AREA B & C for required bullnose masonry locations.
- b) Provide (3) - 4'-0" Markerboards as specified at location shown on exterior east elevation. Install the markerboard standards, do not attach the markerboards to the standards – marker boards will be stored in STOR 106 for use.
- c) At sawcut location at new entry to RM 101 – HALLWAY – provide field applied bullnose at existing east wall corner.
- d) Revise column layout in RM 101 – HALLWAY as noted in structural drawings sheets 3.11 and 3.19 (*attached*). Provide new CMU wall as noted, with bullnose finishes on ends noted on SD-001 (*attached*) in lieu of steel columns. Infill demolished concrete flooring to provide finish at location removed for required grade beam.

13) DRAWING 5.50 – BUILDING ENCLOSURE

- a) Route roof drain from lowslope roof outside of Vestibule 110, route the roof drain directly to the east into the chase. Do not route into Vestibule 110.

14) DRAWING 6.11 – REFLECTED CEILING PLANS – AREA B & C

- a) Vestibule 110 – to be ACT-1 in lieu of the gypsum wall board ceiling
- b) At existing Gymnasium and adjacent Gymnasium Storage, newly installed exposed fire sprinkler system piping not required to be painted.

15) DRAWING SHEET 8.10

- a) Add the following note to the AHU Schedule:
 - i) Heating capacity based on 70% airflow.

16) DRAWING SHEET 8.20 - UNDERFLOOR/TUNNEL PLAN – AREA B – DEMOLITION – PLUMBING & HEATING

- a) Remove HWS & HWR piping mains as shown. Refer to revised drawing sheet 8.20, dated 3-15-21.

17) DRAWING SHEET 8.30 UNDERFLOOR/TUNNEL PLAN – AREA B – PLUMBING & HEATING

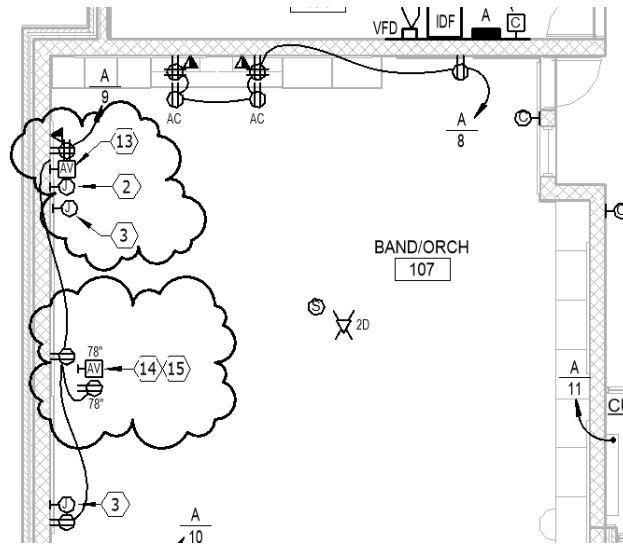
- a) Modify HWS & HWR piping as shown. Refer to revised drawing sheet 8.30, dated 3-15-21.

18) DRAWING SHEET 8.31 - FLOOR PLAN – AREA B – PLUMBING & HEATING

- a) Modify HWS & HWR piping as shown. Refer to revised drawing sheet 8.31, dated 3-15-21.

19) DRAWING SHEET 9.20 - SITE/ORIENTATION PLAN – ELECTRICAL

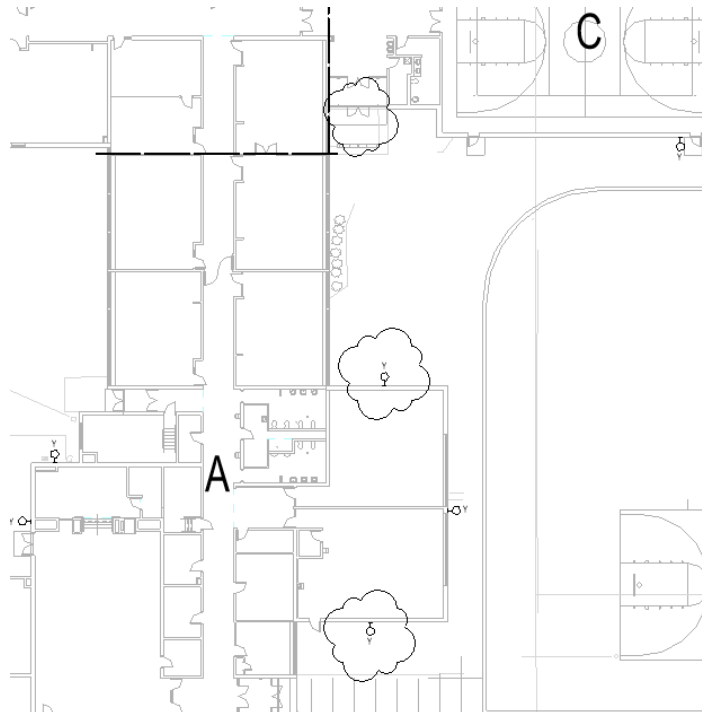
- 1. In reference to BAND/ORCH 107, provide (1) quadplex receptacle at teachers desk location in lieu of duplex. See below for location.
- 2. See below for clarification on the AV boxes shown in BAND/ORCH 107 and MUSIC 108.



- 13 TEACHER DESK LOCATION. VERIFY LOCATION WITH ARCHITECT/OWNER.
- 14 PROVIDE 2 DATA CABLES/JACKS AT HIGH AV OUTLET, TYPICAL IN EACH ROOM HAVING AV OUTLETS. FACEPLATE BY THE OWNERS AV CONTRACTOR.
- 15 AV OUTLET SHALL CONSIST OF AV WALL BOX SIMILAR TO HUBBELL HBL986 WITH 2" CONDUIT TO ACCESSIBLE CEILING SPACE IN THIS ROOM, PROVIDE INSULATED BUSHINGS. TYPICAL.

20. DRAWING SHEET 9.20 - SITE/ORIENTATION PLAN – ELECTRICAL

1. Provide (1) additional type “Y” fixture to replace existing wall fixture. See below for revised locations.



21. DRAWING SHEET 9.30 - ELECTRICAL SYMBOLS AND ABBREVIATIONS

1. Light Fixture Schedule: The “A” series luminaire shall be Day-Brite “FPZ” Fluxpanel gen 2 series in lieu of “FXP” series.
2. Light Fixture Schedule: New type “E6” to be equal to EMERGI-LITE “BZ-LUX-SD-CW”.

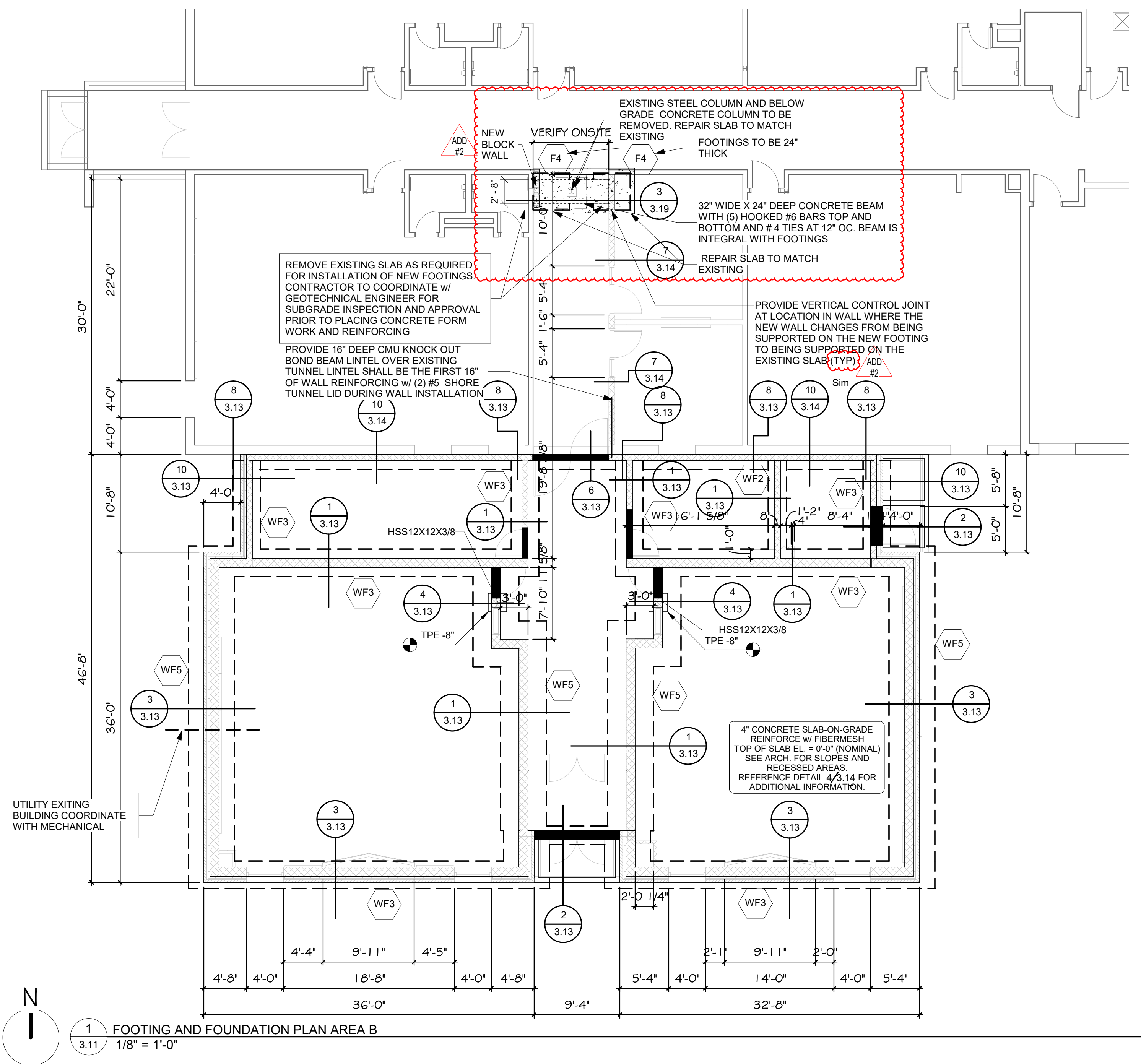
GENERAL APPROVALS:

The following material or equipment furnished by the manufacturers listed, may be substituted as equivalent providing that each item, material, and piece of equipment conforms to the design and requirement of the specifications.

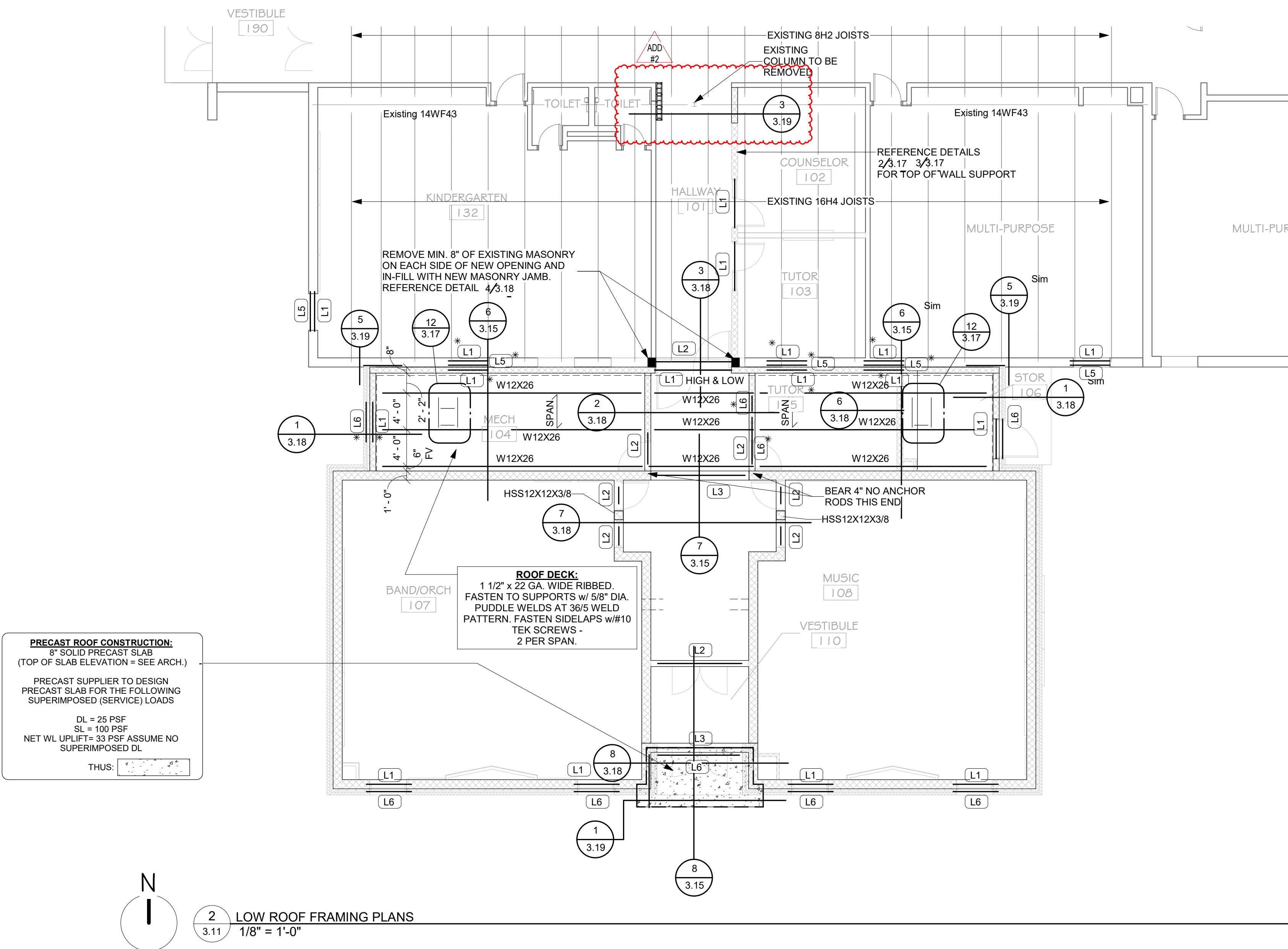
<u>SECTION</u>	<u>ITEM</u>	<u>MANUFACTURER</u>
034100	Precast Structural Concrete	Taracon Precast
230800	Air Handling Units	VTs
265110	Interior Lighting	
	Type A Series	ALS, Metalux, Mule
	Type B Series	Lithonia, Metalux, Viscor
	Type D	Day-Brite, Lithonia, Lumax
		Atlantic
	Type E	Chloride, Lithonia, Sure-Lites,
		Isolite
	Type H Series	Gotham, Portfolio, Atlantic
	Type Y, Y1	Lithonia, McGraw-Ed., SpecGrade
265210	Exterior Lighting	
	Type AA	Lithonia, McGraw-Ed,
		SpecGrade LED
	Type AA (Pole)	Valmont, Cooper

END OF ADDENDUM

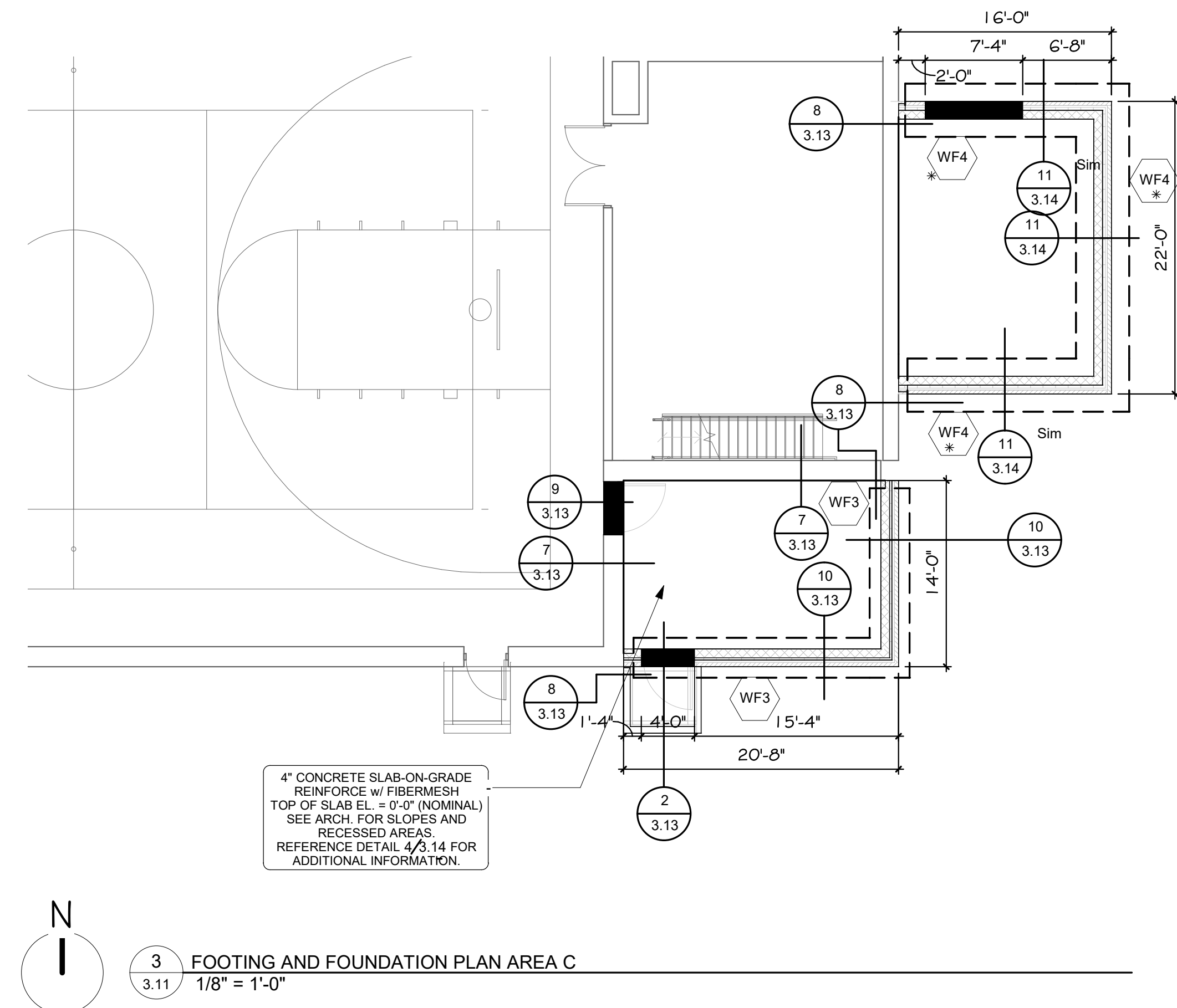
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1 FOOTING AND FOUNDATION PLAN AREA B
3.11 1/8" = 1'-0"



2 LOW ROOF FRAMING PLANS
3.11 1/8" = 1'-0"



3 FOOTING AND FOUNDATION PLAN AREA C
3.11 1/8" = 1'-0"

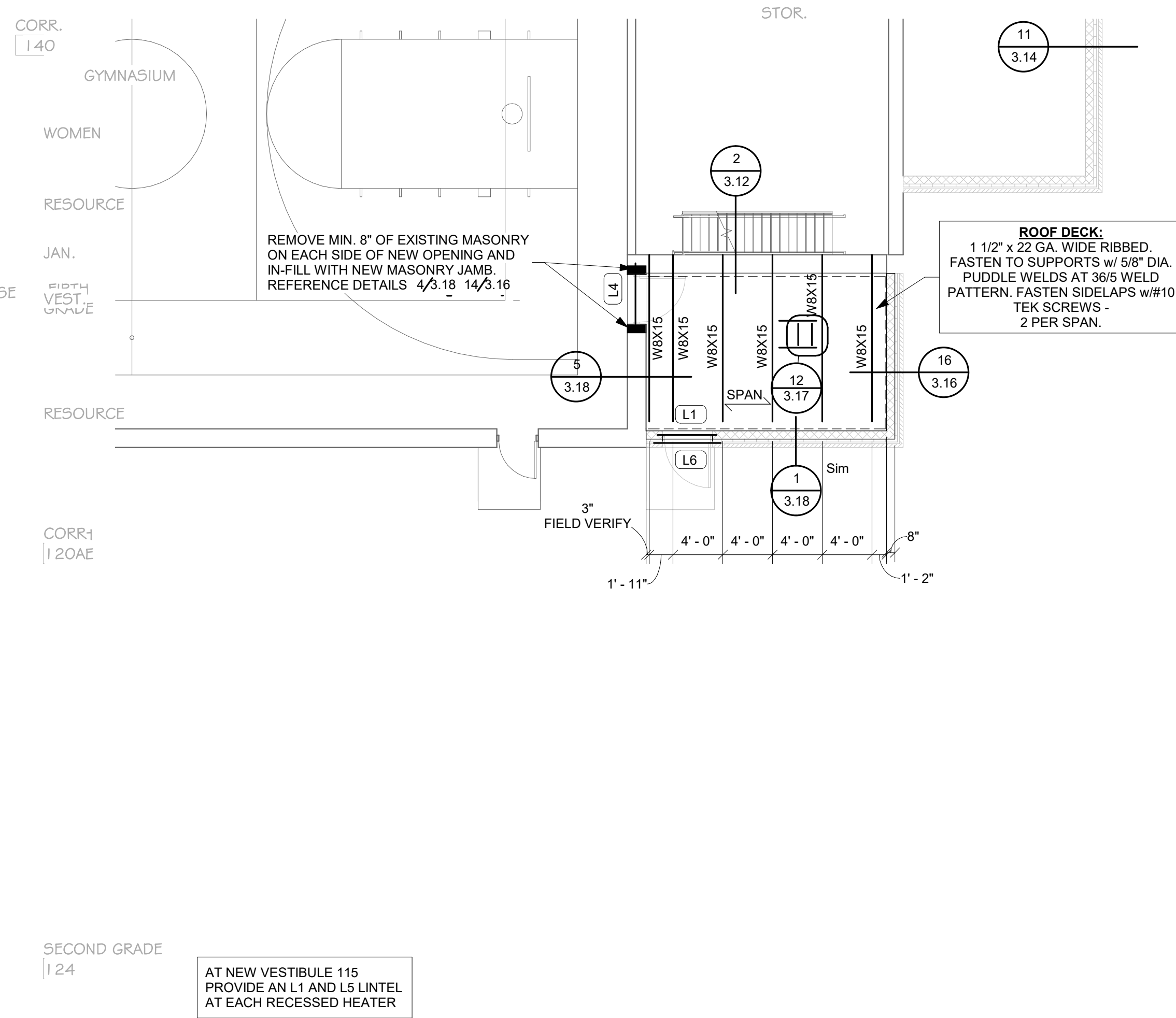
FOOTING SCHEDULE			
MARK	SIZE	REINFORCING	COMMENTS
F4	4'-0"x4'-0"x1'-0"	(6) #4 EW BOTTOM	
WF2	2'-0"x1'-0" CONT.	(3) #5 x CONT.	
WF3	3'-0"x1'-0" CONT.	(3) #5 x CONT. #4 @ 9" oc TRANSVERSE	
WF4	4'-0"x1'-0" CONT.	(4) #5 x CONT. #5 @ 12" oc TRANSVERSE	
WF5	5'-0"x1'-0" CONT.	(6) #5 x CONT. #5 @ 12" oc TRANSVERSE	

TPE ON PLAN DENOTES TOP OF FOOTING ELEVATIONS.
ALL FOOTINGS SHALL BE AT TPE -4'-0" U.N.O.

WHERE PAD FOOTINGS ARE INTEGRAL WITH CONTINUOUS FOOTINGS PROVIDE REINFORCING FOR PAD FOOTING. PROVIDE THICKNESS FOR PAD FOOTING IN AREA DESIGNATED UNLESS CONT FOOTING THICKNESS IS GREATER. CONTINUE REINFORCING FOR CONTINUOUS FOOTINGS THRU PAD FOOTINGS.

ALL FOOTINGS NOTED WITH AN * SHALL HAVE REINFORCING MATS TOP AND BOTTOM.

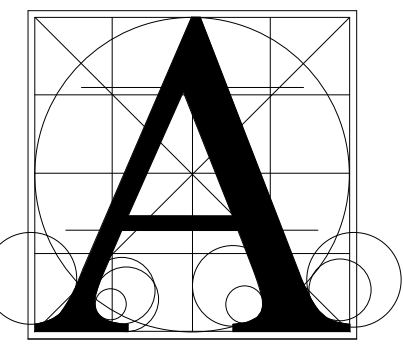
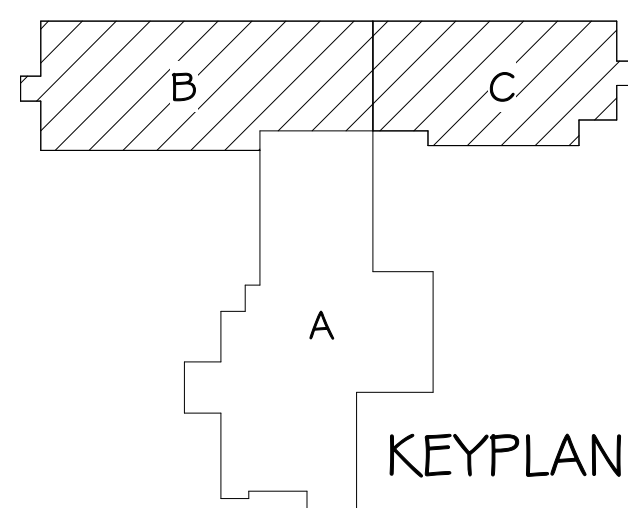
LOBBY



LINTEL AND BEAM SCHEDULE			
LINTEL MARK	SIZE	BEARING EACH END (UNO)	NOTES
L1	W8X15	8" BRG	
L2	W8X21	8" BRG	
L3	W8X31	8" BRG	
L4	W8X24	8" BRG	
L5	L6X4X5/16	6" BRG	
L6	2L5X3-1/2X5/16LLBB	6" BRG	

LINTEL AND BEAM NOTES:

- LINTELS WITH AN * NEXT TO THEIR MARK IN PLAN, ARE LINTELS OVER MECHANICAL PENETRATIONS. ALL LOCATIONS MAY NOT BE NOTED ON STRUCTURAL PLANS. COORDINATE WITH MECHANICAL.
- SEE DETAILS 1/3.16, 15/3.16 AND 1/3.17 FOR LINTEL AND BEAM BEARINGS.
- ALL BEAMS WITH A LINTEL MARK SHALL HAVE A 5/16" LINTEL PLATE. SEE DETAILS 13/3.16 AND 14/3.16 FOR LINTEL PLATE CONFIGURATIONS.
- PROVIDE BEARING CONDITION LISTED IN SCHEDULE UNLESS NOTED OTHERWISE ON PLAN.
- LOOSE EXTERIOR BRICK ANGLES ARE TO BEAR 6" MIN. UNO.



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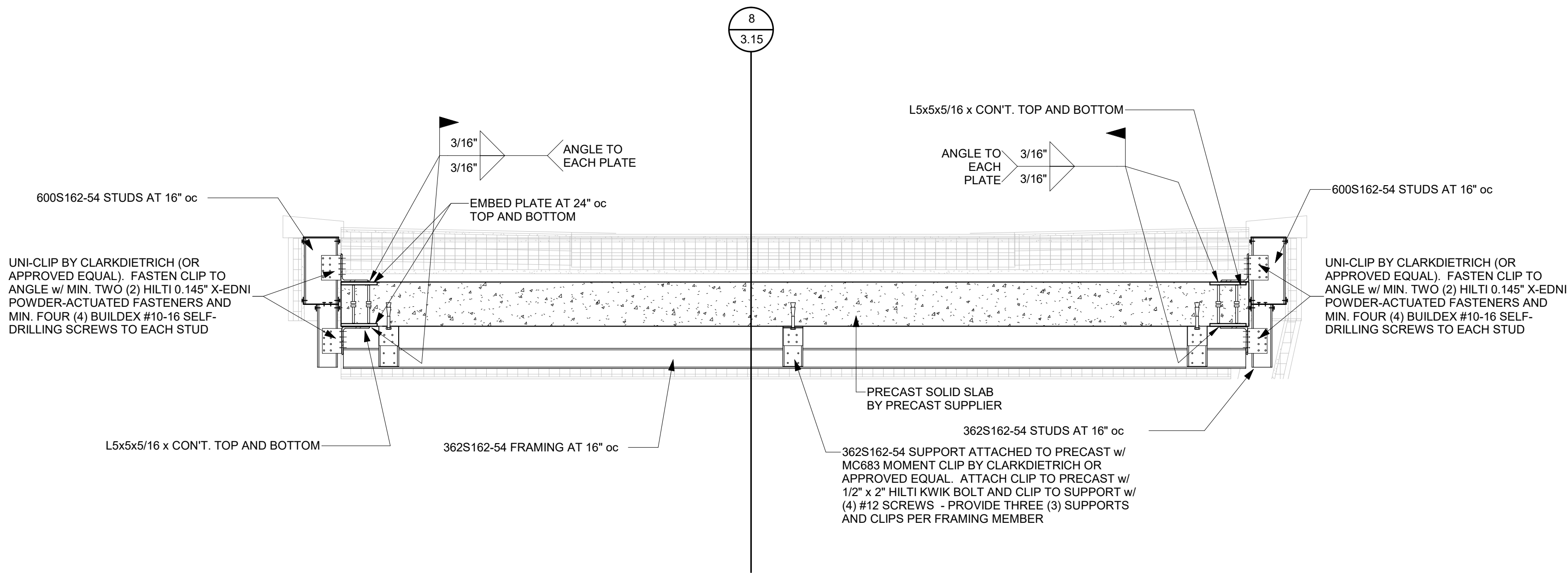
STRUCTURAL ENGINEERING ASSOCIATES
401 E. 8th St. - Suite 8201 - Sioux Falls, SD 57103-7031
P: (605) 334-0188 • F: (605) 334-1669

Project JANE ADAMS ELEMENTARY 2021 ADDITION

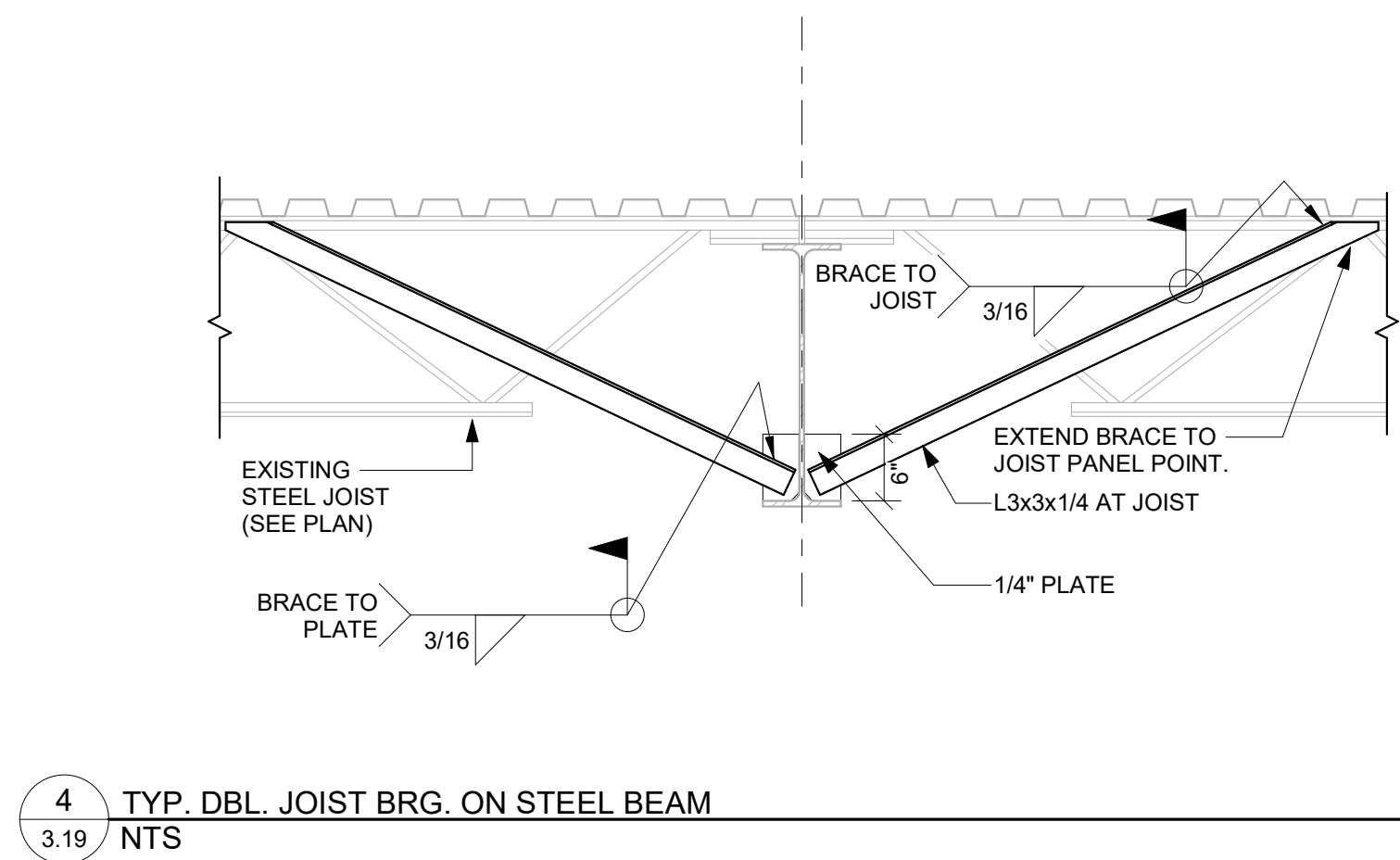
Sheet Contents
STRUCTURAL PLANS

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revision	
drawn	SEA, Inc checked MAS
NO.	DATE DESCRIPTION
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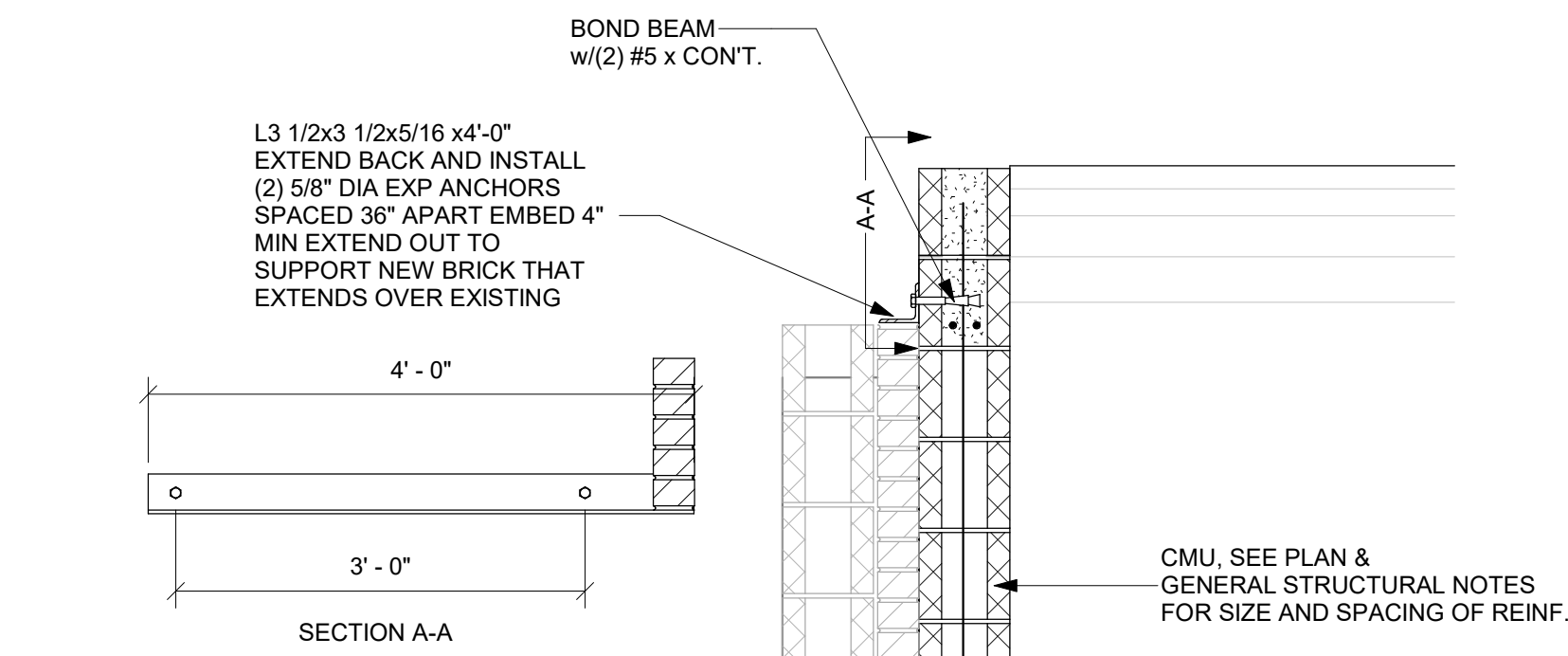
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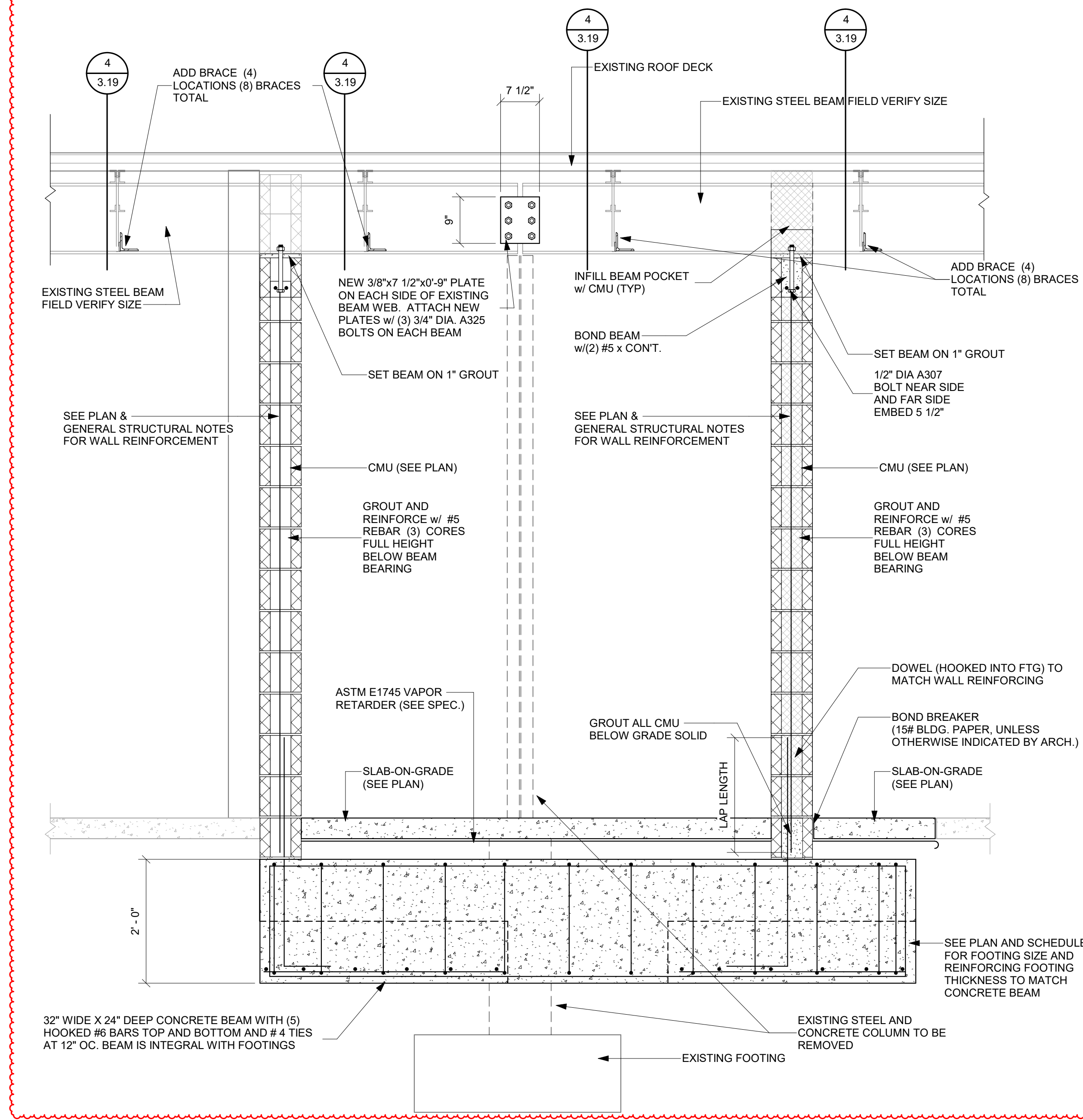
1
3.19
TYPICAL FRAMING DETAIL
NTS



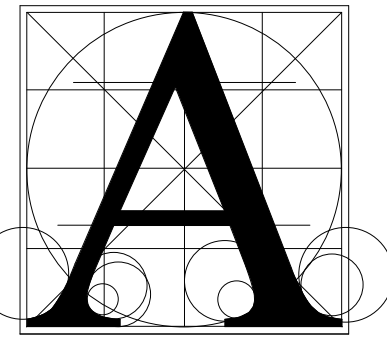
4
3.19
TYP. DBL. JOIST BRG. ON STEEL BEAM
NTS



5
3.19
TYPICAL FRAMING DETAIL
NTS



3
3.19
TYPICAL FRAMING DETAIL
NTS



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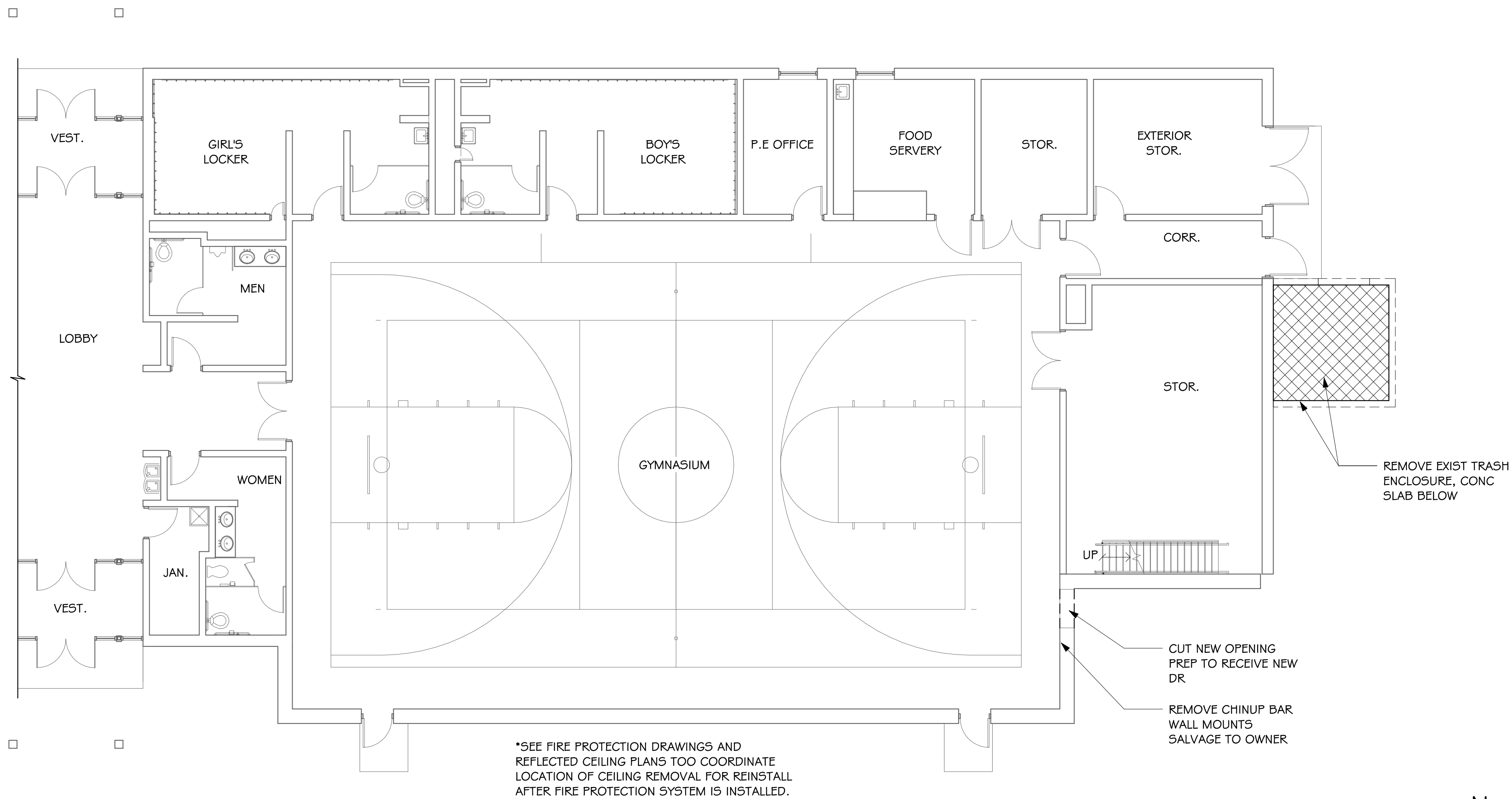
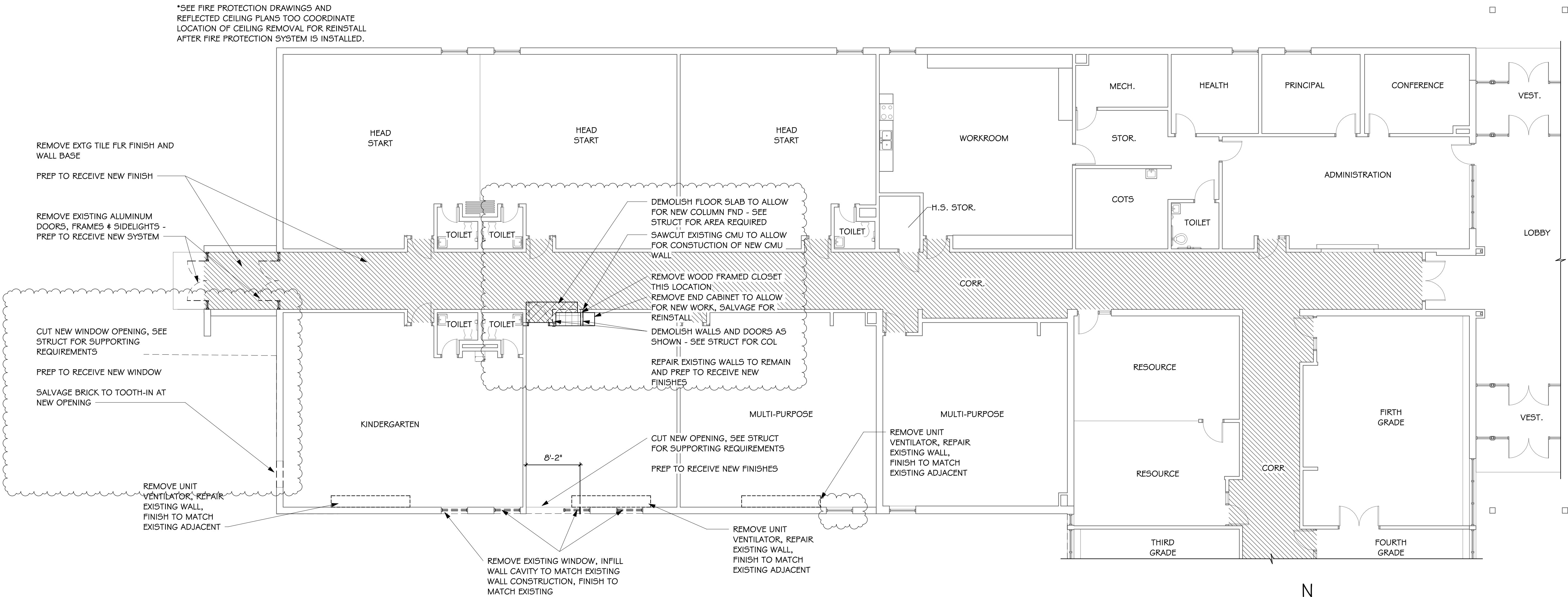
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ASSOCIATES
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Project
JANE ADAMS ELEMENTARY 2021 ADDITION

Sheet Contents
STRUCTURAL DETAILS

number	SEA Job. No. A1210100	
date	02.19.2021	
revision		
drawn	SEA, Inc	checked MAS
	DATE	DESCRIPTION
	3.16.21	ADD#2

3.19

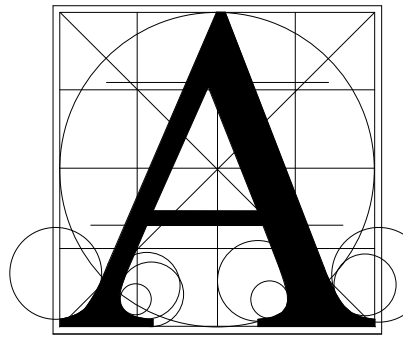


GENERAL NOTES - DEMOLITION

A. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE. REPORT DISCREPANCIES TO THE ARCHITECT.
B. COORDINATE FLOOR SLAB AND CEILING DEMOLITION WITH MECHANICAL AND ELECTRICAL DRAWINGS. GENERAL CONTRACTOR SHALL REMOVE FLOOR SLABS AND CEILINGS AS REQUIRED TO ALLOW FOR INSTALLATION OF NEW MECHANICAL AND ELECTRICAL SYSTEMS. PATCH CONCRETE SLABS AND CEILINGS BACK TO MATCH ADJACENT FINISHES.

DEMOLITION LEGEND

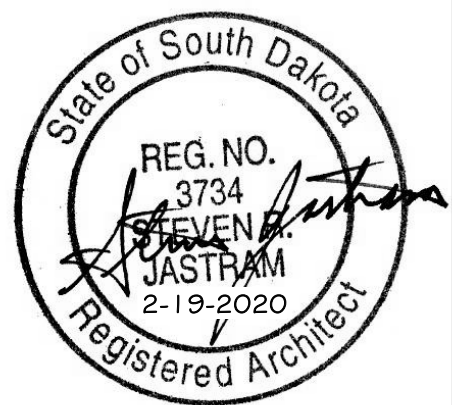
- INDICATES EXISTING ITEMS TO REMAIN
- INDICATES DEMOLITION ITEMS
- INDICATES DOOR AND FRAME TO BE REMOVED. (UNO)
- INDICATES WINDOW TO BE REMOVED. (UNO)
- REMOVE EXISTING CEILING, OR PORTION OF CEILING, WHERE THIS HATCH IS INDICATED.
- REMOVE EXISTING FLOOR FINISH, OR PORTION OF FLOOR FINISH, AND ASSOCIATED BASE WHERE THIS HATCH IS INDICATED.
- REMOVE AND DISPOSE OF CONCRETE FLOOR SLAB WHERE THIS HATCH IS INDICATED.



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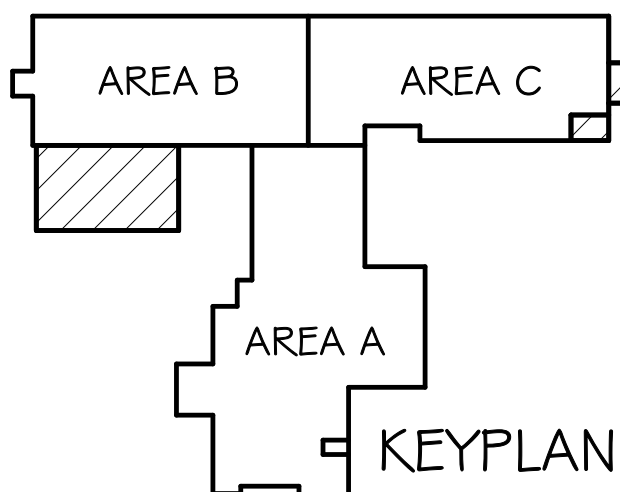


JANE ADDAMS ELEMENTARY SCHOOL - C.I.P.
ADDITION AND RENNOVATIONS PD #3312

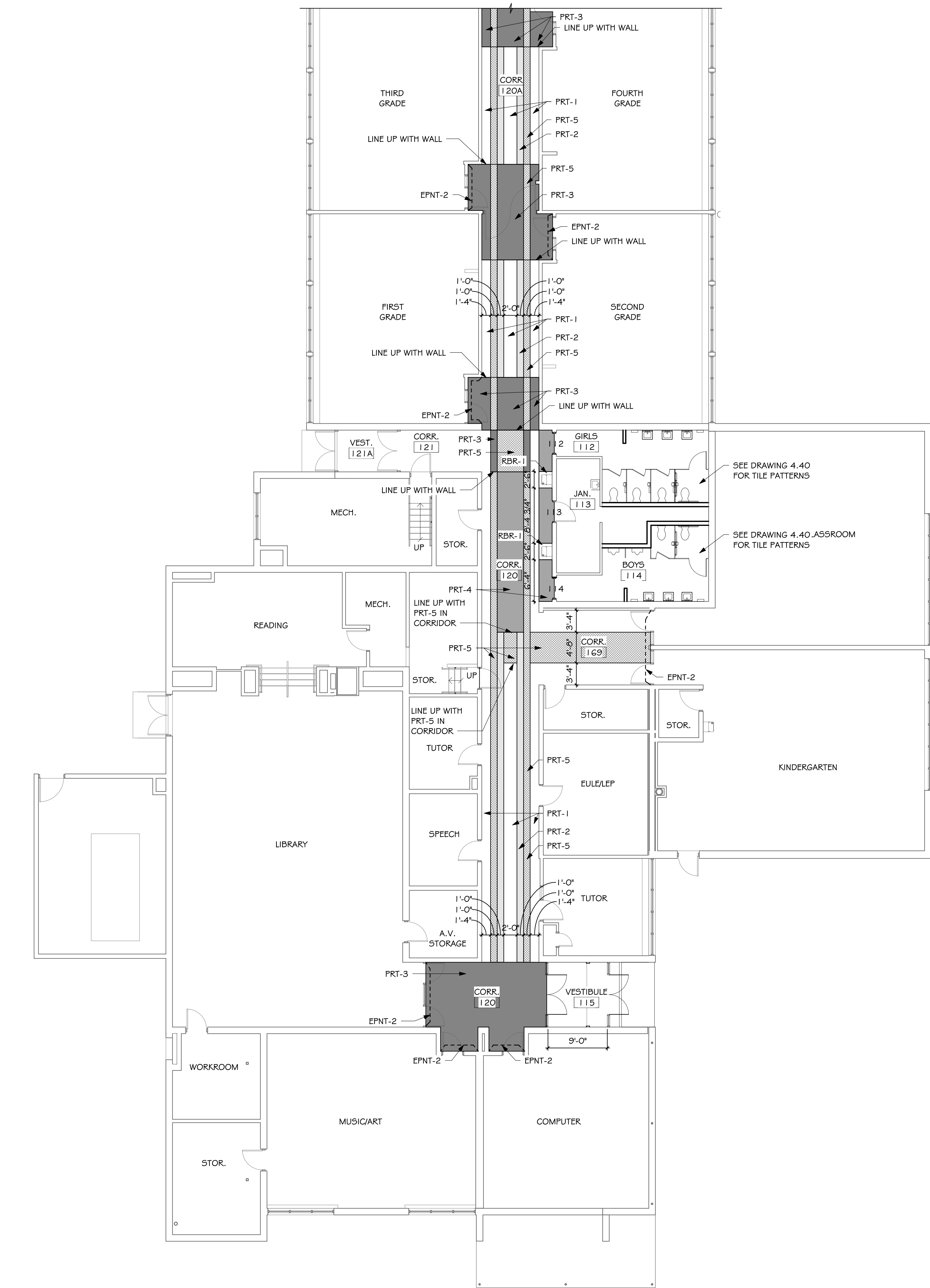
DEMOLITION FLOOR PLAN - AREAS B & C

number	1105.2914.20	
date	2/19/2021	
revision		
drawn	TLM	checked SRJ
NO.	DATE	DESCRIPTION
2	3-15-21	ADDENDUM 2

4.02



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FLOOR FINISH PLAN - AREA A
SCALE: 1/8" = 1'-0"

GENERAL NOTES - FLOOR PLAN

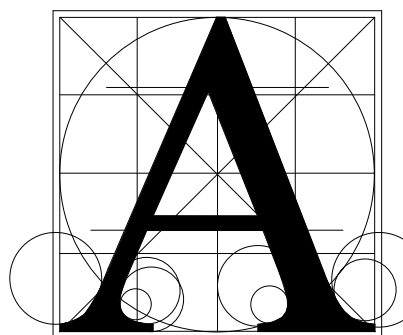
- A. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE. REPORT DISCREPANCIES TO THE ARCHITECT.
B. REFER TO SHEET 4.10 FOR WALL TYPES.
C. WHERE WALLS WERE REMOVED, PATCH EXISTING WALL TO MATCH ADJACENT SURFACE AND FINISH. (TYPICAL).
D. PAINT DOOR JAMBS IN THIS ROOM.
E. REPAIR, PATCH AND PAINT WALL WHERE CMU IS BEING REMOVED AND REPLACED.

ROOM FINISH SCHEDULE - AREA A

NUMBER	NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	Comments
112	GIRLS	T-1,2	TILE COVE	T-4,5	ACT-1	
113	JAN.	SCONC.	NA	NA	NA	
114	BOYS	T-1,3	TILE COVE	T-4,6	ACT-1	
115	VESTIBULE	T-7	RB-1	EPNT-1	PNT-1	
120	CORR.	PRT-1,2,3,5 / RBR-1	RB-1	EPNT-1 / EPNT-2	EXIST.	D
120A	CORR.	PRT-1,2,3,5	RB-1	EPNT-1 / EPNT-2	EXIST.	D
121	CORR.	PRT-1	RB-1	EPNT-1	EXIST.	D
121A	VEST.	T-7	RB-1	EPNT-1	PNT-1	
169	CORR.	PRT-1,5	RB-1	EPNT-1 / EPNT-2	EXIST.	D

PREMIUM RESILIENT TILE (PRT) FLOOR FINISH KEY

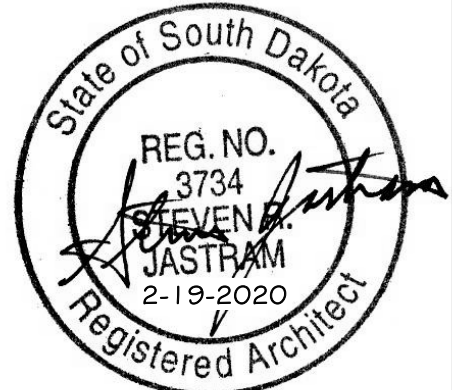
- PRT-1
PRT-2
PRT-3
PRT-4
PRT-5



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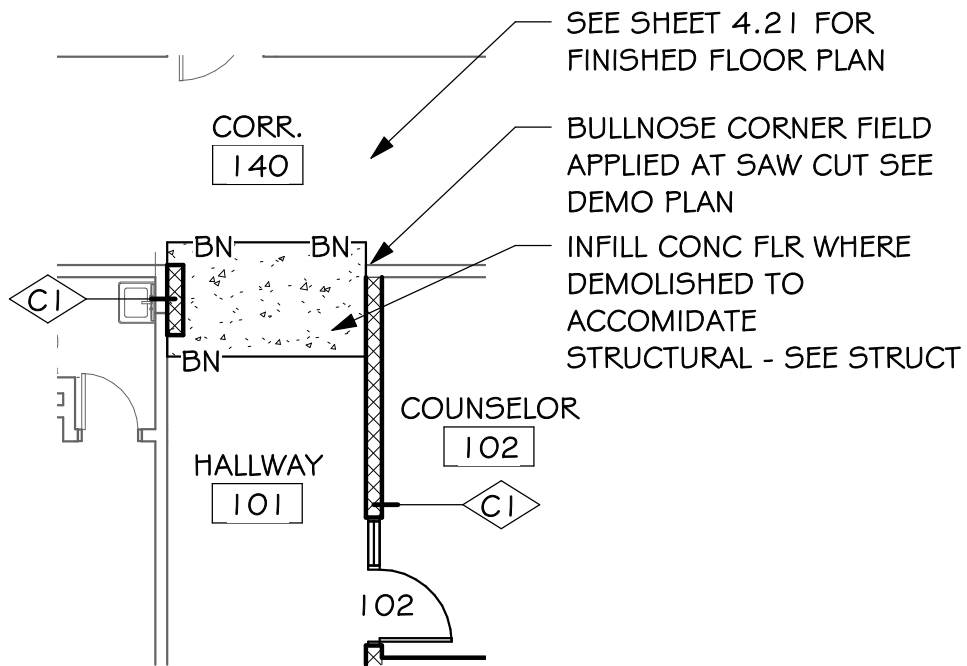
**JANE ADDAMS ELEMENTARY SCHOOL - C.I.P.
ADDITION AND RENNOVATIONS PD #3312**

FLOOR FINISH PLAN - AREA A

number	1105.2914.20
date	2/13/2021
revision	
drawn	Author
checked	Checker

NO.	DATE	DESCRIPTION
2	3-15-21	ADDENDUM 2

4.20



JANE ADDAMS ELEMENTARY SCHOOL - C.I.P.

ADDITION AND RENNOVATIONS PD #3312

project

number 1105.2914.20

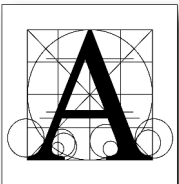
drawn TLM checked TLM

date 3-15-2021

revision ADDENDUM 2

DRAWING

SD - 001

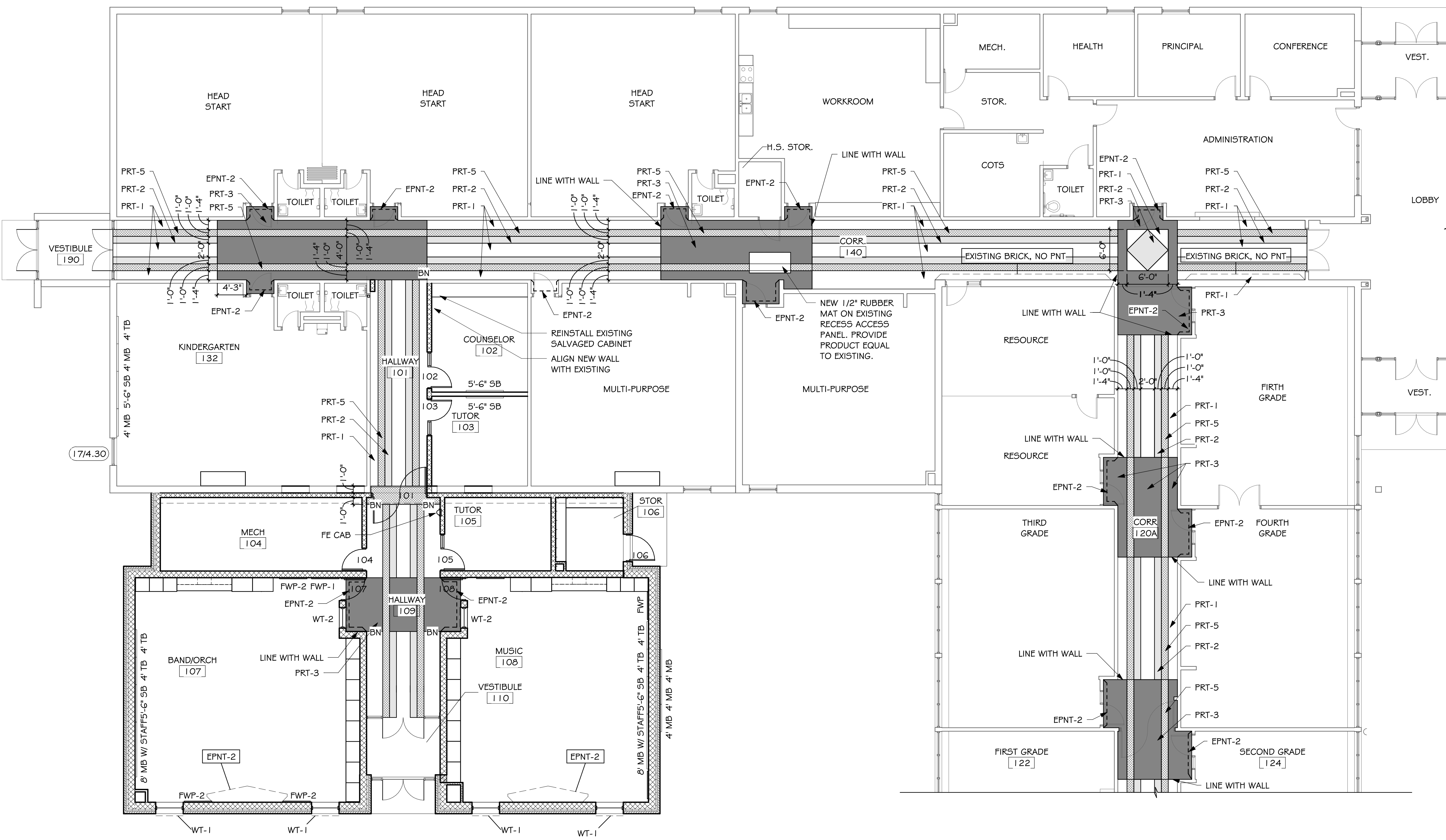


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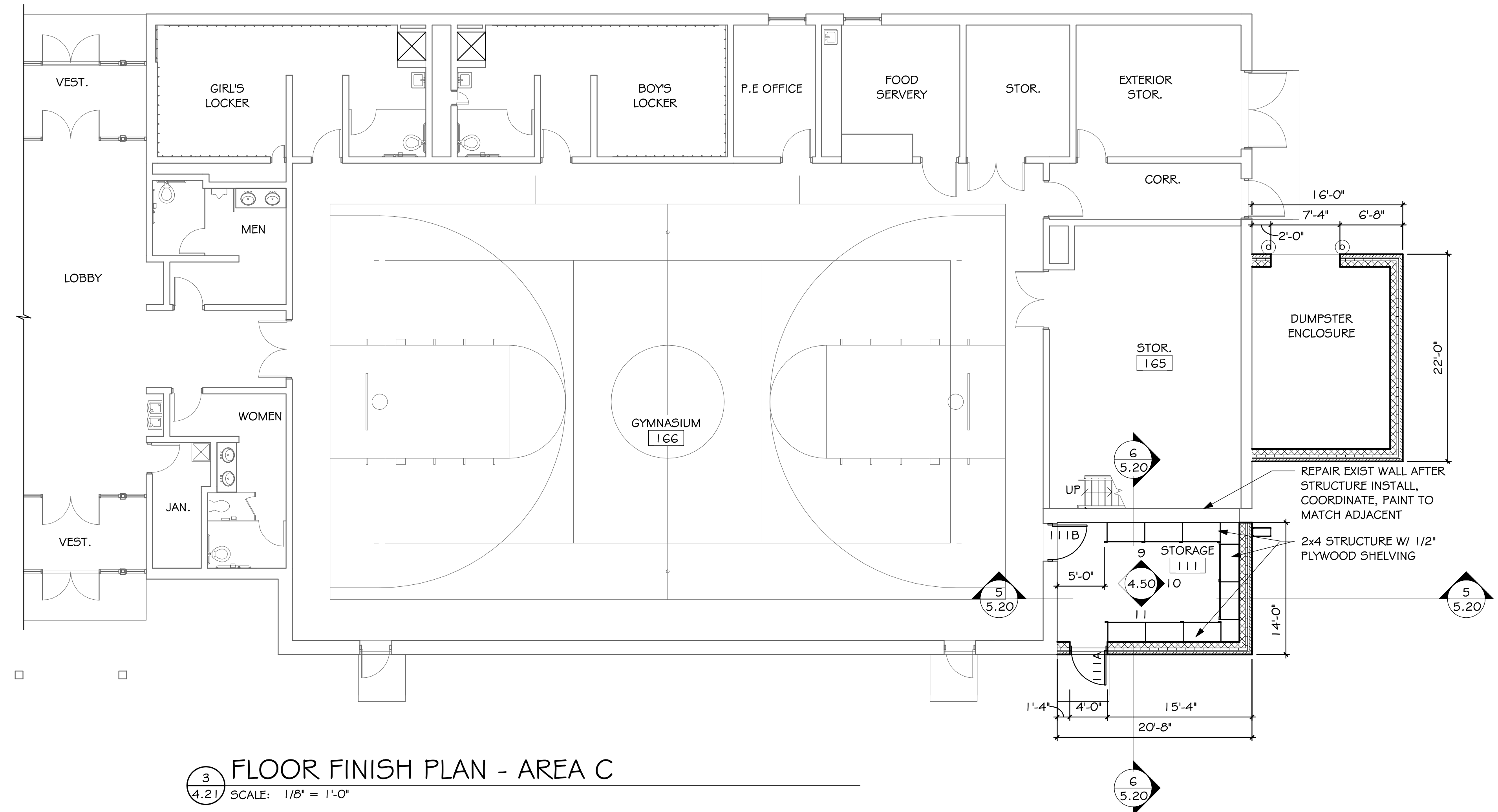
415 South Main Ave., P.O. Box 2140

Sioux Falls, SD

(605) 339-1711



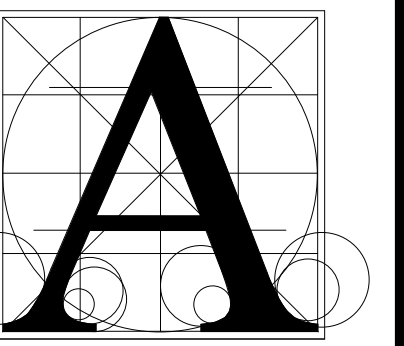
1 FLOOR FINISH PLAN - AREA B
4.2.1 SCALE: 1/8" = 1'-0"



3 FLOOR FINISH PLAN - AREA C
4.2.1 SCALE: 1/8" = 1'-0"

GENERAL NOTES - FLOOR PLAN						
A. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE. REPORT DISCREPANCIES TO THE ARCHITECT.						
B. REFER TO SHEET 4.10 FOR WALL TYPES.						
C. WHERE WALLS WERE REMOVED, PATCH EXISTING WALL TO MATCH ADJACENT SURFACE AND FINISH. (TYPICAL).						
D. PAINT DOOR JAMBS IN THIS ROOM.						
E. REPAIR, PATCH AND PAINT WALL WHERE CMU IS BEING REMOVED AND REPLACED.						
ROOM FINISH SCHEDULE - AREA B & C						
NUMBER	NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	Comments
101	HALLWAY	PRT-1,2,5	RB-1	EPNT-1 / EPNT-2	EXIST.	
102	COUNSELOR	CPT-1	RB-1	EPNT-1	ACT-1	
103	TUTOR	CPT-1	RB-1	EPNT-1	ACT-1	
104	MECH	SCONC.	NA	NA	NA	
105	TUTOR	CPT-1	RB-1	EPNT-1	ACT-1	
106	STOR	PRT-1	RB-1	EPNT-1	NA	
107	BAND/ORCH	CPT-1	RB-1	EPNT-1 / EPNT-2	ACT-1	
108	MUSIC	CPT-1	RB-1	EPNT-1 / EPNT-2	ACT-1	
109	HALLWAY	PRT-1,2,3,5	RB-1	EPNT-1 / EPNT-2	ACT-1	
110	VESTIBULE	T-7	RB-1	EPNT-1	PNT-1	
111	STORAGE	SCONC.	NA	EPNT-1	NA	E
132	KINDERGARTEN	NA	NA	EPNT-1	NA	
140	CORR.	PRT-1,2,3,5	RB-1	EPNT-1 / EPNT-2	ACT-1	D
165	STOR.	EXISTING	EXIST.	PATCH PAINT	EXIST.	E
166	GYMNASIUM	EXISTING	EXIST.	PATCH PAINT	EXIST.	E
190	VESTIBULE	T-7	RB-1	EPNT-1	PNT-1	

PREMIUM RESILIENT TILE (PRT) FLOOR FINISH KEY	
	PRT-1
	PRT-2
	PRT-3
	PRT-4
	PRT-5



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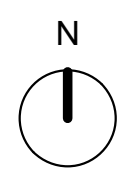
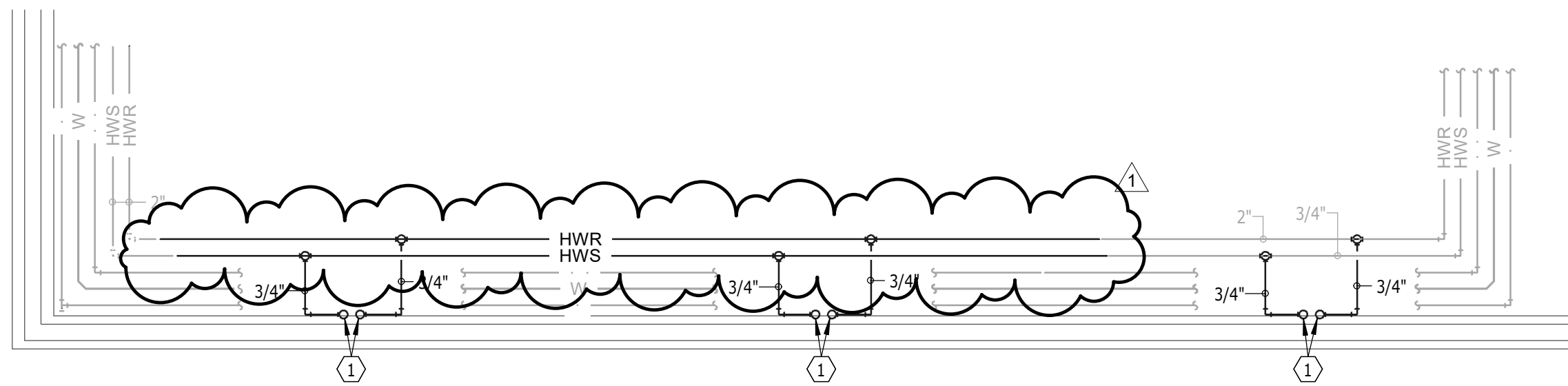
815 St Joseph Street, Suite 203
P.O. Box 8047
Rapid City, South Dakota 57701
Phone: (605) 721-1158



JANE ADDAMS ELEMENTARY SCHOOL - C.I.P.
ADDITION AND RENOVATIONS PD #3312
FLOOR FINISH PLAN - AREA B & C

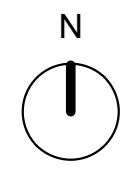
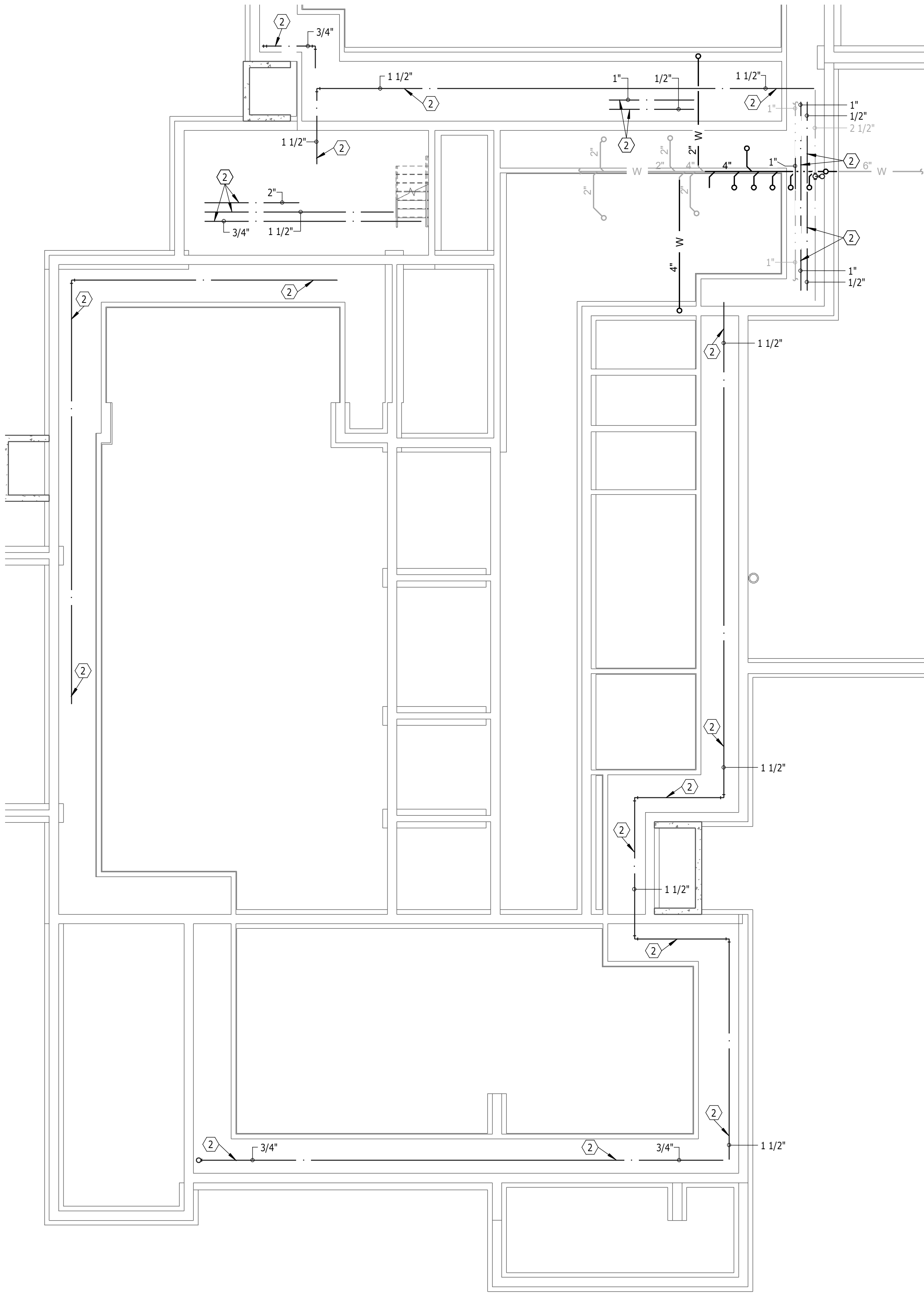
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date	2/19/2021	
revision		
drawn	Author	checked
	Checker	
	DATE	DESCRIPTION
3-15-21	ADDENDUM 2	

4.21



**UNDERFLOOR/TUNNEL PLAN - AREA
B - DEMOLITION - PLUMBING &
HEATING**

SCALE 0 4 8 12 16



**UNDERFLOOR/TUNNEL PLAN -
AREA A - DEMOLITION - PLUMBING
& HEATING**

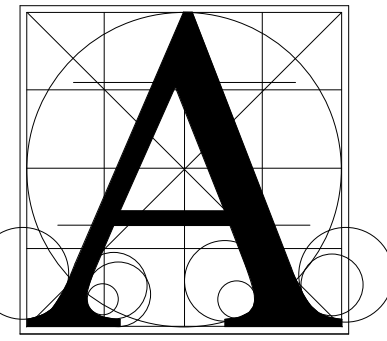
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GENERAL SHEET NOTES

- ON DEMOLITION DRAWINGS : ITEMS SHOWN LIGHT ARE EXISTING TO REMAIN.
- ON DEMOLITION DRAWINGS : ITEMS SHOWN BOLD ARE EXISTING TO BE REMOVED.
- ON MECHANICAL DRAWINGS : ITEMS SHOWN LIGHT ARE EXISTING TO REMAIN.
- ON MECHANICAL DRAWINGS : ITEMS SHOWN BOLD IS WORK TO BE DONE.

PLUMBING NOTES

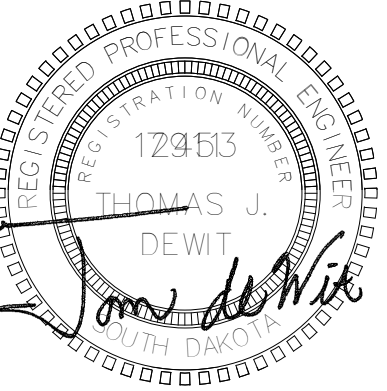
- REMOVE PIPING TO UNIT VENTILATOR & CAP AT MAINS
- REMOVE EXISTING GALVANIZED COLD WATER PIPING MAINS. INSTALL NEW COPPER PIPING MAINS IN THEIR PLACE. EXISTING BRANCH PIPING TO REMAIN FOR RECONNECTION. VERIFY EXACT COUNT & SIZE OF EXISTING BRANCH TAKEOFFS PRIOR TO BID



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ACI PROJECT #120111

Project **JANE ADDAMS ELEMENTARY 2021 ADDITION**

Sheet Contents **UNDERFLOOR PLAN - DEMOLITION - PLUMBING**

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date	02-19-2021	
revision		
drawn	DWM	checked Td
	DATE	DESCRIPTION
	3-15-21	ADDM #2

